



Introduction

What is a developer delivered requisition?

On 1 April 2021 we introduced a new developer delivered requisition (DDR) offering which subject to contract gives developers the opportunity to design and construct eligible offsite foul and surface water sewers through third-party land while acting under our statutory powers of entry.

DDRs are offered in addition to our usual offering where subject to contract we agree to carry out the design and construction of requisitioned sewers through third party land using our statutory powers of entry. This alternative option is referred to in this guide as a Wessex Water delivered requisition (WWDR).

Benefits of a developer delivered requisition

Our DDR offering is designed to give developers greater choice over the delivery of requisitions that meet certain criteria. They may find that delivering a requisition themselves gives greater control over the timing and cost of delivery, and that they are able to take advantage of economies of scale and scope by combining delivery of offsite infrastructure with onsite construction activities.

Legal and regulatory framework

The regulatory description of our DDR requisition offering can be found in our New Connection Services Charging Arrangements 2021-22, available on our website - wessexwater.co.uk/developercharges

Site specific arrangements for any DDR are subject to a bespoke contractual agreement.

How developer delivered requisitions work

Eligibility criteria for a DDR

DDRs involve the construction of public sewers through third-party land using our statutory powers of entry, so they are only permitted where we are satisfied that:

- a** the project does not present an unacceptable to risk Wessex Water. Unacceptable risk includes, but is not limited to, projects comprising:
- high risk or complex construction activity
 - projects that involve river, railway or motorway crossings
 - laying of pipes through land belonging to protected undertakers
 - projects crossing environmentally sensitive areas or likely to be subject to sensitive or protracted negotiations.

The assessment of the level of risk involved and whether the risk is unacceptable or not is determined at our sole discretion.

- b** the developer can demonstrate:
- they have in place policies, processes, systems of work, insurance and certification required by organisations carrying out similar work for Wessex Water. Further detail on specific requirements is provided in The developer delivered requisition process section below.
 - prior experience of managing and carrying out similar projects
 - they have suitably qualified and experienced personnel within the organisation to manage the project.

- c** the developer understands and agrees to the terms and conditions for carrying out a DDR. In particular:
- understanding that for the purpose of the Construction (Design and Management) Regulations 2015 (the 'CDM Regulations') the developer shall be the client and be responsible for health and safety for the scheme and for appointing the principal contractor and principal designer
 - the developer design and sub-contractor selection shall be subject to Wessex Water technical and quality approval
 - all Wessex Water costs for technical review, inspections and facilitating the DDR are fully rechargeable and payable by the developer
 - the developer is obliged to carry out all work in accordance with the relevant standards and codes of conduct prescribed in the agreement
 - security is required on account of the requisition works.

These terms and conditions are non-negotiable

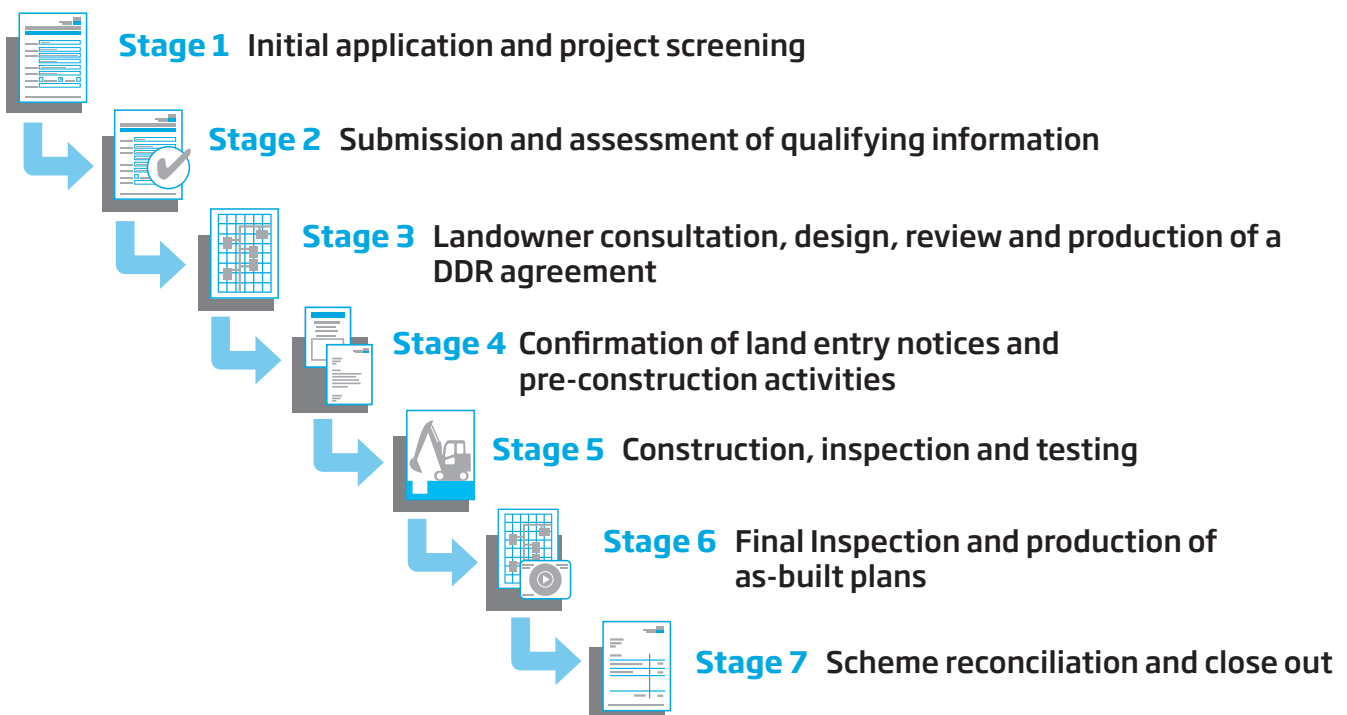
A draft copy of the DDR terms and condition will be provided on application and is available in advance on request.

Note: In the early days of our new DDR provision we anticipate adopting a conservative approach to assessing the risk profile of projects allowed for DDRs.

The developer delivered requisition process

The DDR process comprises seven stages as set out below.

Wessex Water developer delivered requisition process





■ Stage 1 Initial application and project screening

The first stage in the DDR process is the initial application.

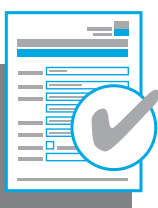
Developers requiring a Section 98 sewer requisition must apply through the Wessex Water portal, following our standard requisition procedures and noting their preference in their application.

When we receive the application, we will carry out an initial high level review to assess whether the project appears suitable in principle for a DDR. DDRs will not be permitted where the project presents an unacceptable risk to Wessex Water.

As DDRs are a new offering we will initially screen all requisition applications for potential suitability for a DDR and advise the developer accordingly. Exceptions to this are where the developer has expressly advised they are not interested in this option.

If our initial screening review suggests that a DDR is suitable in principle, we will advise the developer accordingly and invite them to submit further qualifying information to enable further eligibility assessment.

Note: The assessment carried out at the initial stage is a high-level, desk top screening review. It is important to note that final approval of suitability for a DDR is subject to further detailed review.



■ Stage 2 Submission and assessment of qualifying information

The next stage of the process is the submission of further information by the developer to confirm eligibility of the project for a DDR.

The following information is required.

- **Provision of additional project information**

The developer is required to provide details of any additional project information requested by Wessex Water and/or details of any changes or updates to the information previously presented. If no additional information has been requested and there has been no change to the project, the developer is obliged to confirm that the information previously presented remains valid and there are no changes to that information.

- **Confirmation of completion of Wessex Water Bravo supplier registration**

For reasons set out above in Eligibility criteria for a DDR section above, developers seeking to carry out a DDR are required to register their organisation on our Bravo supplier registration platform: wessexwater.bravosolution.co.uk/web/login.html. This is our mechanism for ensuring that all organisations delivering construction services for us have in place the policies, processes, systems of work, insurance and certification required.

A summary of the information required for registration on the Bravo portal is set out at: wessexwater.bravosolution.co.uk/attach/Supplier-Registration-Requirements.pdf

- **Confirmation of the developer's organisational competence and expertise.**

This must be evidenced by three examples of recently completed construction schemes in terms of value, complexity and engineering scope.

- **Confirmation of developer personnel experience and expertise**

This must be shown via details of the developer's suitably qualified and experienced personnel who will be responsible for managing the DDR. It should take the form of a CV or CVs of the project manager/engineers/senior managers who will be responsible for managing the DDR.

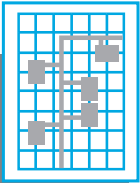
- **Confirmation of agreement to the DDR terms and conditions**

This should be evidenced by a response in writing confirming that the developer understands and agrees to the terms and conditions for carrying out a DDR as summarised in the eligibility criteria above and set out in detail in the draft contract agreement supplied.

On receipt of the information set out above we will review the details provided, request further clarification if required and advise whether the project meets the criteria for a DDR.

We will also advise the deposit sum payable for progression to the next stage.

If our assessment finds that the project does not meet our eligibility criteria, the developer will be advised accordingly and given the option for the project to continue as a WWDR.



■ Stage 3 Landowner consultation, design, review and production of a DDR agreement

This stage involves initial landowner consultation, design, review and production of the proposed DDR agreement for signature.

On receipt of the deposit sum advised at the end of stage 2 the developer will be required to:

- complete and submit an environmental and third-party management form (E3MP) for the project
- submit a full scheme design compliant with:
 - the Design and Construction Guidance for foul and surface water sewers offered for adoption under the Code for adoption agreements for water and sewerage companies operating wholly or mainly in England (March 2020)
 - the feedback provided by us on the E3MP form
 - our initial consultation with the landowner.
- confirm the proposed contractor for the works or where a contractor has not been selected the proposed arrangements for selecting the contractor for the works.

At this stage we will undertake the following:

- carry out an E3MP environmental and third-party management plan assessment based on information provided by the developer
- consult with third-party landowners regarding the developer's proposed scheme design
- conduct an appraisal of the developer's proposed scheme design
- conduct a review of the developer's proposed contractor or contractor selection process
- calculate the surety value, land compensation estimate and inspection fees to be lodged on account.

Subject to satisfactory review and approval of the above, we will produce a DDR agreement for signature between the developer and Wessex Water, including the surety value and the sums to be deposited on account of land compensation estimates and inspection fees.



■ Stage 4 Confirmation of land entry notices and pre-construction activities

This stage involves serving all relevant land entry notices and obtaining all necessary permits, consents and agreements for the work to be done.

This stage begins on receipt of the developer's signed agreement, confirmation of surety arrangements and payment of the land compensation estimate and inspection fees as set out at the end of stage 3.

During this stage the developer will be required to:

- complete and submit our land entry form (Form 5) together with the plans for each proposed third-party land entry
- issue New Roads and Street Works Act (NRSWA) notices if required
- carry out a letter drop based on the letter and the schedule of Land Entry agreements provided by Wessex Water.

And Wessex Water will:

- countersign and return the agreement and confirm receipt of sums paid
- issue Form 5 to the developer
- liaise with landowners regarding compensations and consents
- issue statutory notices to all third-party landowners
- issue schedule of land entry agreements
- provide the developer with the letter to be supplied to the residents
- confirm to the developer when all notices are agreed and in force
- carry out a preconstruction meeting with the developer, developer's contractor and landowner
- walk the route with the landowner and the developer's contractor.



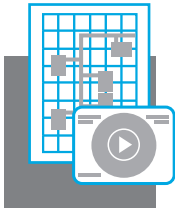
■ Stage 5 Construction, inspection and testing

In this stage the developer carries out construction of the new sewers.

We will inspect the works during construction, liaise with the landowners should any issues or concerns arise and witness the air testing of the construction works.

We will also be able to advise the developer of any remedial works required.

On satisfactory completion of the construction works and any remedial works identified, we will issue the developer with a certificate of substantial completion which marks the start of a defect liability period.



■ Stage 6 Final Inspection and production of as-built plans

At the end of the defect liability period, which is typically 12 months, the developer will be required to submit to us as-built plans and a CCTV of the constructed sewer.

We will review the developer submissions and advise the developer of any remedial works required.

On satisfactory review of the developer submissions, including for the avoidance of doubt the completion of any remedial works identified, we will issue the developer with a final certificate marking the end of the defect liability period.



■ Stage 7 Scheme reconciliation and close out

At the end of the project we will issue the developer with a final summary of the scheme costs for the scheme.

This will include details of all reasonably incurred costs in facilitating the DDR. It will include, but shall not be limited to, details of land compensation payments and inspections fees incurred in supervising the construction works and remedial activities.

Where appropriate we will issue a refund on sums deposited or an invoice for payment.

Contact us

Should you have any queries please contact us:

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W wessexwater.co.uk/developers